

Bartlett High School - Main Building

Finish Upgrades

Bartlett City Schools

5688 Woodlawn
Bartlett, TN 38134



**Bartlett High School - Main Building Finish
Upgrades**

Bartlett City Schools

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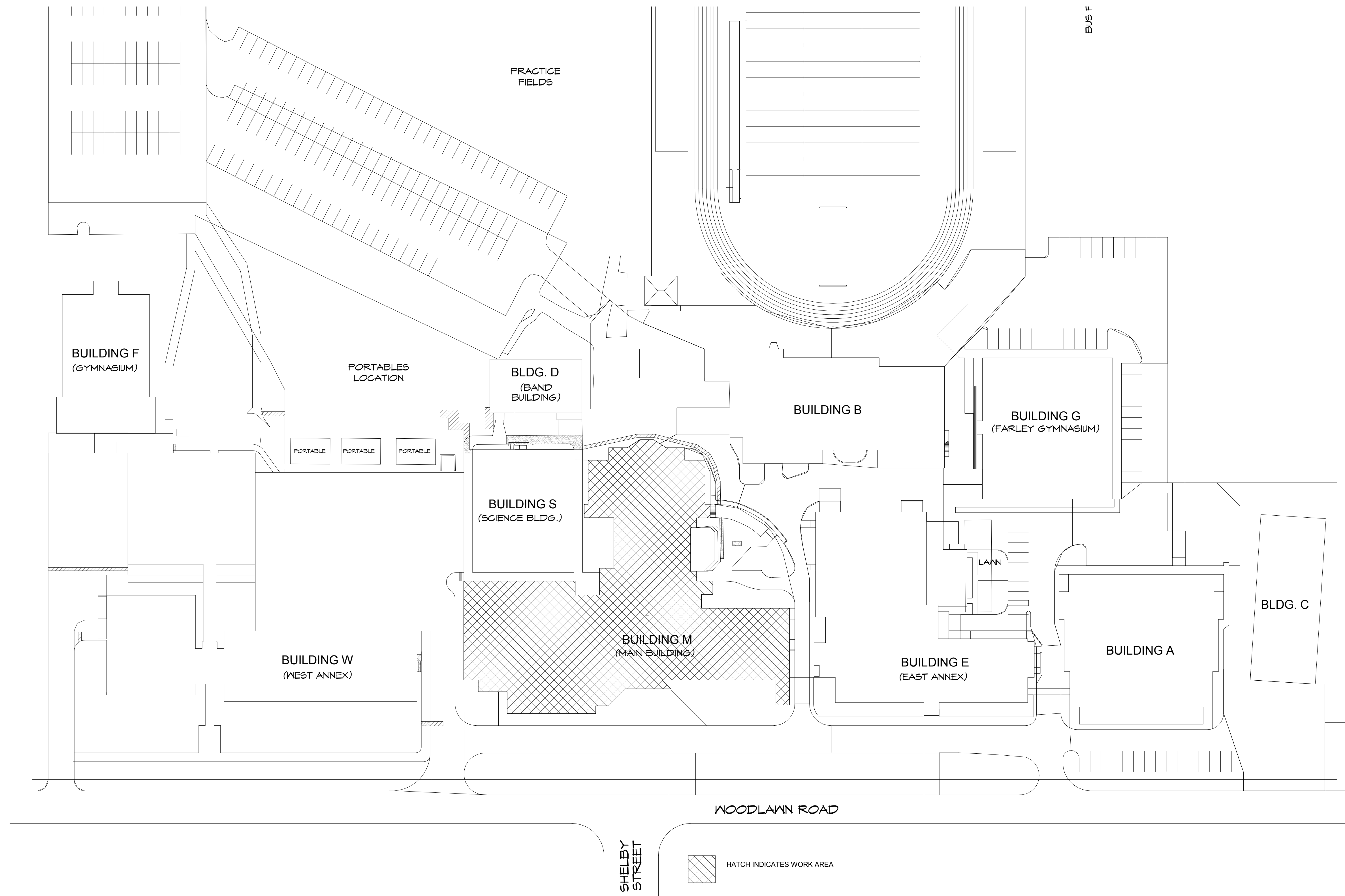
REVISIONS

Date	Number	Description

SCHEMATIC
DESIGN

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5688 Woodlawn
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**NOT FOR
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Date of Issue: **May 8, 2015**
Fleming Project No.: 330315

A1.0

SITE KEY PLAN

1 SITE KEY PLAN
1" = 50'-0"







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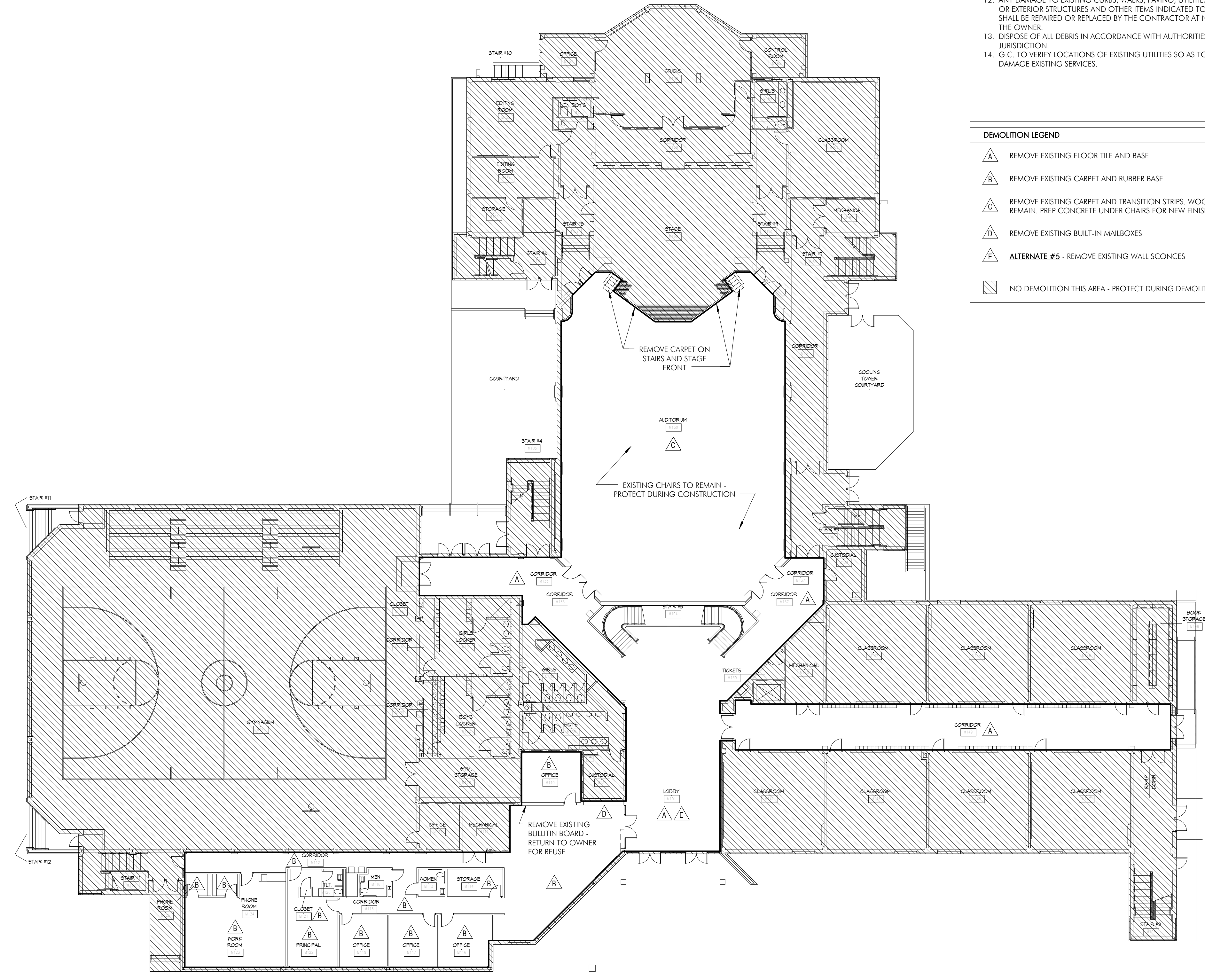
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DEMOLITION GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
2. CONTRACTOR TO NOTIFY OWNER IF SUSPECTED ASBESTOS IS FOUND.
3. CONTRACTOR SHALL MAINTAIN ALL REQUIRED EGRESS PASSAGES AND EMERGENCY LIGHTING THROUGHOUT THE DURATION OF THE WORK.
4. CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS TO PREVENT UNAUTHORIZED ACCESS TO CONSTRUCTION AREAS FOR THE DURATION OF THE WORK.
5. REMOVAL OF ANY PARTITION SHALL NOT EXPOSE THE FLOOR TO AN UNPROTECTED STATE. REPAIR AND/OR REPLACE AS REQUIRED.
6. MATERIAL REMOVED FROM THE CONSTRUCTION SITE DURING DEMOLITION REMAINS THE PROPERTY OF THE OWNER. VERIFY WITH OWNER PRIOR TO DISPOSAL OF MATERIALS AND/OR EQUIPMENT. IF MATERIALS/EQUIPMENT ARE TO BE REUSED, VERIFY WITH OWNER WHAT MATERIALS ARE TO BE RECLAIMED AND WHERE THEY ARE TO BE STORED. PATCH & REPAIR ANY DAMAGED WALLS AND FLOORING. PREP FOR NEW FINISHES.
7. REPLACE ANY CEILING TILES DAMAGED DURING DEMOLITION.
8. IF EXISTING ITEMS IN WORKING ORDER PRIOR TO DEMOLITION ARE DAMAGED DURING CONSTRUCTION AND ARE TO BE REUSED, THE ITEM(S) SHALL BE RESTORED TO WORKING ORDER AND FINISHED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
9. ANY FINISHES, EQUIPMENT, FURNISHINGS, ETC. THAT ARE DAMAGED OR MISPLACED/LOST DURING THE COURSE OF THE WORK SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
10. WHERE NO WORK IS TO TAKE PLACE, THE CONTRACTOR SHALL PROTECT ALL EXISTING FURNISHINGS AND FINISHES THROUGHOUT DEMOLITION AND RENOVATION WORK.
11. ANY DAMAGE TO EXISTING CURBS, WALKS, PAVING, UTILITIES, FENCING, OR EXTERIOR STRUCTURES AND OTHER ITEMS INDICATED TO REMAIN SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
12. DISPOSE OF ALL DEBRIS IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION.
13. G.C. TO VERIFY LOCATIONS OF EXISTING UTILITIES SO AS TO NOT DAMAGE EXISTING SERVICES.

DEMOLITION LEGEND

-  REMOVE EXISTING FLOOR TILE AND BASE
-  REMOVE EXISTING CARPET AND RUBBER BASE
-  REMOVE EXISTING CARPET AND TRANSITION STRIPS. WOOD BASE TO REMAIN. PREP CONCRETE UNDER CHAIRS FOR NEW FINISH.
-  REMOVE EXISTING BUILT-IN MAILBOXES
-  ALTERNATE #5 - REMOVE EXISTING WALL SCONCES
-  NO DEMOLITION THIS AREA - PROTECT DURING DEMOLITION



1 FIRST FLOOR DEMOLITION PLAN
1/16" = 1'-0"

REVISIONS

Date	Number	Description

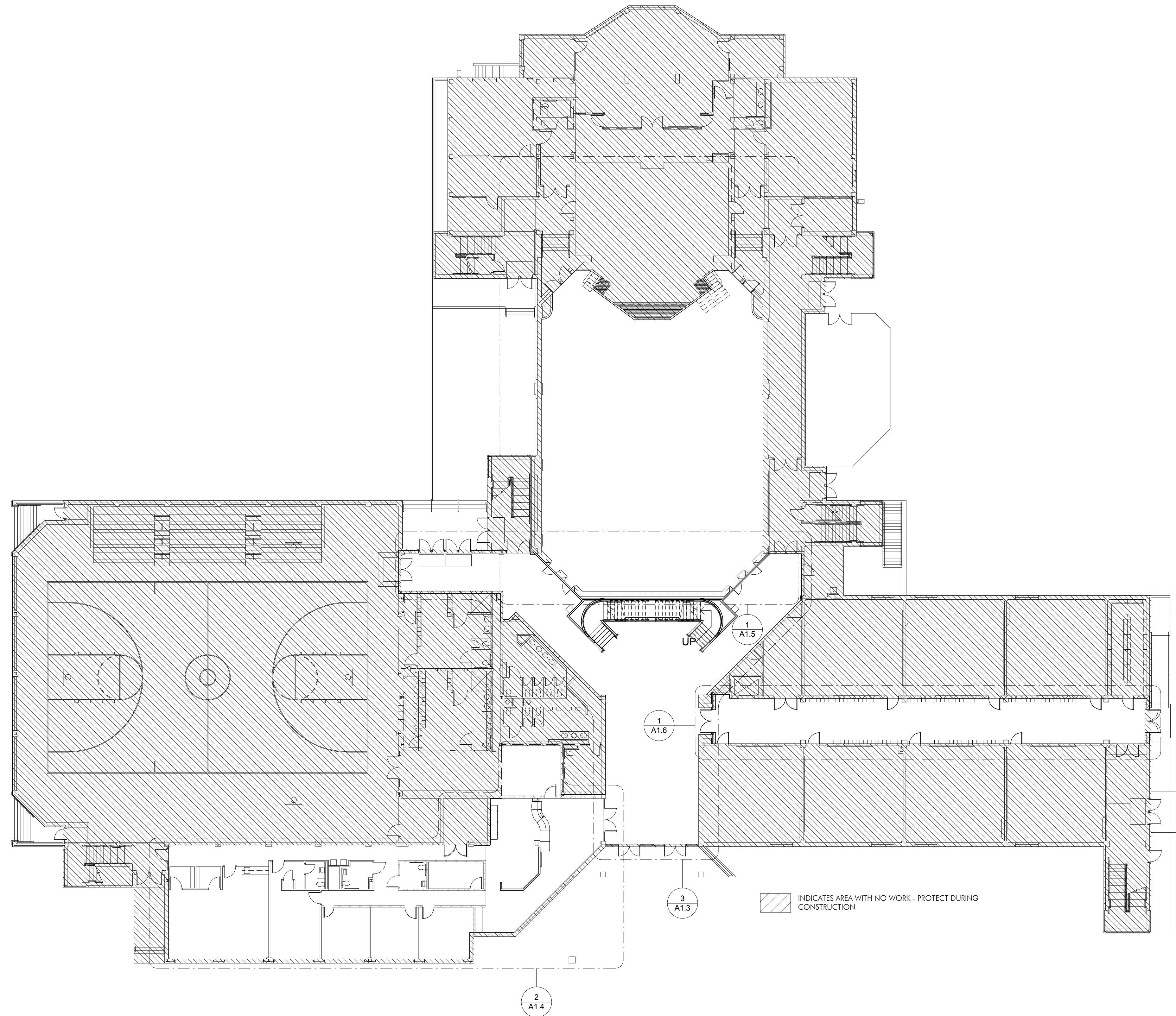
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SCHEMATIC
DESIGN

Date of Issue: **May 8, 2015**
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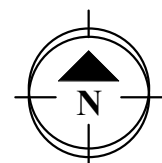
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A1.2
REFERENCE FLOOR PLAN

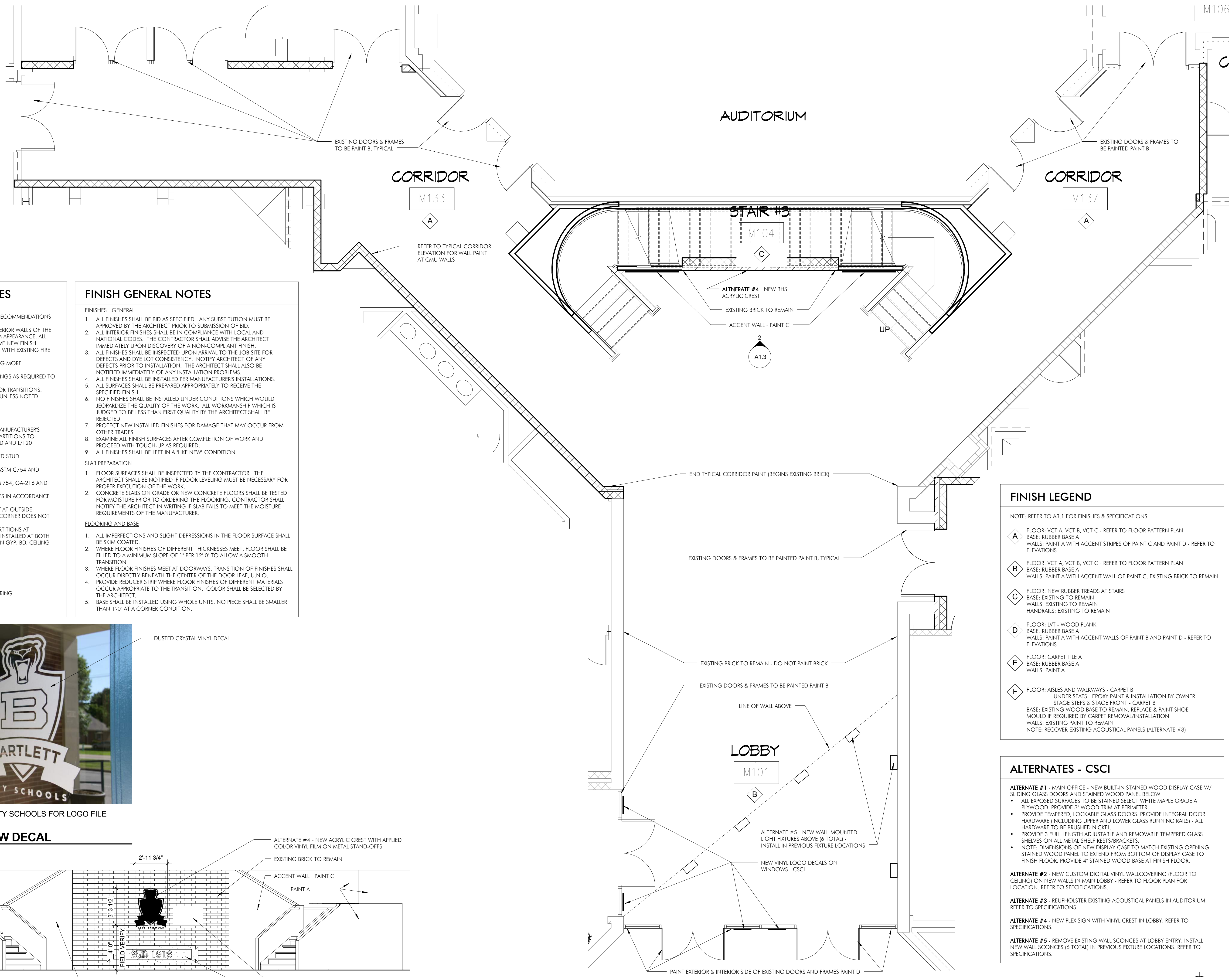
1 FIRST FLOOR REFERENCE PLAN
1/16" = 1'-0"



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FLOOR PLAN GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE CODE REQUIREMENTS.
2. IT IS THE INTENT OF THESE DOCUMENTS THAT ALL INTERIOR WALLS OF THE WORK AREA BE FINISHED AND PAINTED TO A UNIFORM APPEARANCE. ALL EXISTING INTERIOR WALLS SHALL BE PREPARED TO RECEIVE NEW FINISH.
3. NO WORK OR NEW CONSTRUCTION SHALL INTERFERE WITH EXISTING FIRE RATED ASSEMBLIES OR LIFE SAFETY PROVISIONS.
4. REFER TO ENLARGED FLOOR PLAN SHEETS CONTAINING MORE INFORMATION.
5. EXISTING CEILINGS TO REMAIN - REPAIR EXISTING CEILINGS AS REQUIRED TO ACCOMMODATE NEW WALLS, ETC.
6. PROVIDE TRANSITION STRIPS AS REQUIRED AT ALL FLOOR TRANSITIONS.
7. DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE UNLESS NOTED OTHERWISE.
8. DO NOT SCALE DRAWINGS.

GYPSUM BOARD & INTERIOR PARTITION NOTES

1. STUD SPACING AND GAUGE SHALL BE BASED UPON MANUFACTURER'S ALLOWABLE HEIGHT CHARTS. LIMIT DEFLECTION OF PARTITIONS TO FOLLOWING: BASED ON 5 PSF UNIFORM DESIGN LOAD AND L/120 DEFLECTION.
2. NOTIFY ARCHITECT SHOULD PARTITION HEIGHT EXCEED STUD MANUFACTURER'S ALLOWABLE HEIGHT CHART.
3. INSTALL PARTITION FRAMING IN ACCORDANCE WITH ASTM C754 AND MANUFACTURER'S INSTRUCTIONS.
4. INSTALL GYPSUM BOARD IN ACCORDANCE WITH ASTM 754, GA-216 AND MANUFACTURER'S INSTRUCTIONS.
5. INSTALL ANY WALL HUNG EQUIPMENT OR ACCESSORIES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
6. AT GYP. BD. WALLS, INSTALL CORNER REINFORCEMENT AT OUTSIDE CORNERS. USE SINGLE LENGTHS WHERE LENGTH OF CORNER DOES NOT EXCEED STANDARD HEIGHT.
7. INSTALL CONTROL JOINTS AT GYP. BD. WALLS AND PARTITIONS AT MAXIMUM OF 30'-0" APART. CONTROL JOINTS MAY BE INSTALLED AT BOTH SIDES OF A DOOR HEADER. INSTALL CONTROL JOINT IN GYP. BD. CEILING AT MAXIMUM OF 50' OR MAXIMUM OF 2500 S.F.

OSOI - OWNER SUPPLIED, OWNER INSTALLED
OSCI - OWNER SUPPLIED, CONTRACTOR INSTALLED
CSCI - CONTRACTOR SUPPLIED, CONTRACTOR INSTALLED

INDICATES AREA WITH NO WORK - PROTECT DURING CONSTRUCTION

FINISH GENERAL NOTES

FINISHES - GENERAL

1. ALL FINISHES SHALL BE BID AS SPECIFIED. ANY SUBSTITUTION MUST BE APPROVED BY THE ARCHITECT PRIOR TO SUBMISSION OF BID.
2. ALL INTERIOR FINISHES SHALL BE IN COMPLIANCE WITH LOCAL AND NATIONAL CODES. THE CONTRACTOR SHALL ADVISE THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF A NON-COMPLIANT FINISH.
3. ALL FINISHES SHALL BE INSPECTED UPON ARRIVAL TO THE JOB SITE FOR DEFECTS AND DYE LOT CONSISTENCY. NOTIFY ARCHITECT OF ANY DEFECTS PRIOR TO INSTALLATION. THE ARCHITECT SHALL ALSO BE NOTIFIED IMMEDIATELY OF ANY INSTALLATION PROBLEMS.
4. ALL FINISHES SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATIONS. ALL SURFACES SHALL BE PREPARED APPROPRIATELY TO RECEIVE THE SPECIFIED FINISH.
5. NO FINISHES SHALL BE INSTALLED UNDER CONDITIONS WHICH WOULD JEOPARDIZE THE QUALITY OF THE WORK. ALL WORKMANSHIP WHICH IS JUDGED TO BE LESS THAN FIRST QUALITY BY THE ARCHITECT SHALL BE REJECTED.
6. PROTECT NEW INSTALLED FINISHES FOR DAMAGE THAT MAY OCCUR FROM OTHER TRADES.
7. EXAMINE ALL FINISH SURFACES AFTER COMPLETION OF WORK AND PROCEED WITH TOUCH-UP AS REQUIRED.
8. ALL FINISHES SHALL BE LEFT IN A "LIKE NEW" CONDITION.

SLAB PREPARATION

1. FLOOR SURFACES SHALL BE INSPECTED BY THE CONTRACTOR. THE ARCHITECT SHALL BE NOTIFIED IF FLOOR LEVELING MUST BE NECESSARY FOR PROPER EXECUTION OF THE WORK.
2. CONCRETE SLABS ON GRADE OR NEW CONCRETE FLOORS SHALL BE TESTED FOR MOISTURE PRIOR TO ORDERING THE FLOORING. CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING IF SLAB FAILS TO MEET THE MOISTURE REQUIREMENTS OF THE MANUFACTURER.

FLOORING AND BASE

1. ALL IMPERFECTIONS AND SLIGHT DEPRESSIONS IN THE FLOOR SURFACE SHALL BE SKIN COATED.
2. WHERE FLOOR FINISHES OF DIFFERENT THICKNESSES MEET, FLOOR SHALL BE FILLED TO A MINIMUM SLOPE OF 1" PER 12'-0" TO ALLOW A SMOOTH TRANSITION.
3. WHERE FLOOR FINISHES MEET AT DOORWAYS, TRANSITION OF FINISHES SHALL OCCUR DIRECTLY BENEATH THE CENTER OF THE DOOR LEAF, U.N.O.
4. PROVIDE REDUCER STRIP WHERE FLOOR FINISHES OF DIFFERENT MATERIALS OCCUR APPROPRIATE TO THE TRANSITION. COLOR SHALL BE SELECTED BY THE ARCHITECT.
5. BASE SHALL BE INSTALLED USING WHOLE UNITS. NO PIECE SHALL BE SMALLER THAN 1'-0" AT A CORNER CONDITION.

FINISH LEGEND

NOTE: REFER TO A3.1 FOR FINISHES & SPECIFICATIONS

- A** FLOOR: VCT A, VCT B, VCT C - REFER TO FLOOR PATTERN PLAN
BASE: RUBBER BASE A
WALLS: PAINT A WITH ACCENT STRIPES OF PAINT C AND PAINT D - REFER TO ELEVATIONS
- B** FLOOR: VCT A, VCT B, VCT C - REFER TO FLOOR PATTERN PLAN
BASE: RUBBER BASE A
WALLS: PAINT A WITH ACCENT WALL OF PAINT C. EXISTING BRICK TO REMAIN
- C** FLOOR: NEW RUBBER TREADS AT STAIRS
BASE: EXISTING TO REMAIN
WALLS: EXISTING TO REMAIN
HANDRAILS: EXISTING TO REMAIN
- D** FLOOR: LVT - WOOD PLANK
BASE: RUBBER BASE A
WALLS: PAINT A WITH ACCENT WALLS OF PAINT B AND PAINT D - REFER TO ELEVATIONS
- E** FLOOR: CARPET TILE A
BASE: RUBBER BASE A
WALLS: PAINT A
- F** FLOOR: AISLES AND WALKWAYS - CARPET B
UNDER SEATS - EPOXY PAINT & INSTALLATION BY OWNER
STAGE STEPS & STAGE FRONT - CARPET B
BASE: EXISTING WOOD BASE TO REMAIN. REPLACE & PAINT SHOE MOULD IF REQUIRED BY CARPET REMOVAL/INSTALLATION
WALLS: EXISTING PAINT TO REMAIN
NOTE: RECOVER EXISTING ACOUSTICAL PANELS (ALTERNATE #3)

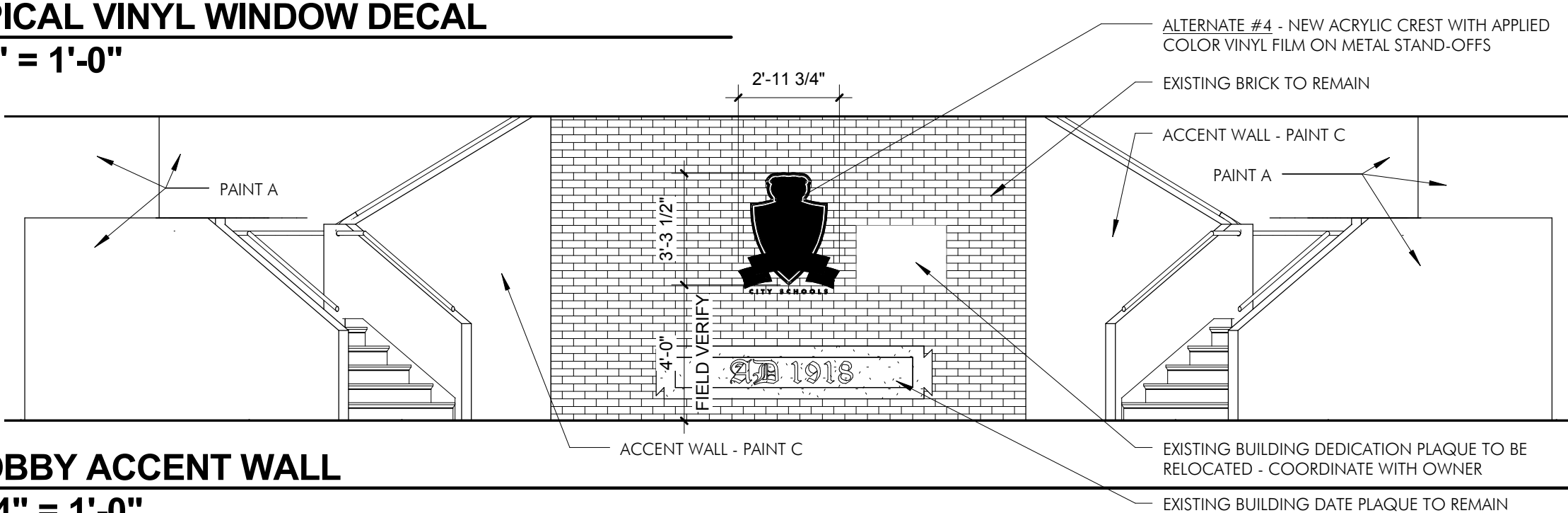
ALTERNATES - CSCI

- ALTERNATE #1** - MAIN OFFICE - NEW BUILT-IN STAINED WOOD DISPLAY CASE W/ SLIDING GLASS DOORS AND STAINED WOOD PANEL BELOW
 - ALL EXPOSED SURFACES TO BE STAINED SELECT WHITE MAPLE GRADE A PLYWOOD. PROVIDE 3" WOOD TRIM AT PERIMETER.
 - PROVIDE TEMPERED, LOCKABLE GLASS DOORS. PROVIDE INTEGRAL DOOR HARDWARE (INCLUDING UPPER AND LOWER GLASS RUNNING RAILS) - ALL HARDWARE TO BE BRUSHED NICKEL
 - PROVIDE 3 FULL-LENGTH ADJUSTABLE AND REMOVABLE TEMPERED GLASS SHELVES ON ALL METAL SHELF RESTS/BRACKETS.
 - NOTE: DIMENSIONS OF NEW DISPLAY CASE TO MATCH EXISTING OPENING. STAINED WOOD PANEL TO EXTEND FROM BOTTOM OF DISPLAY CASE TO FINISH FLOOR. PROVIDE 4" STAINED WOOD BASE AT FINISH FLOOR.
- ALTERNATE #2** - NEW CUSTOM DIGITAL VINYL WALLCOVERING (FLOOR TO CEILING) ON NEW WALLS IN MAIN LOBBY - REFER TO FLOOR PLAN FOR LOCATION. REFER TO SPECIFICATIONS.
- ALTERNATE #3** - REUPHOLSTER EXISTING ACOUSTICAL PANELS IN AUDITORIUM. REFER TO SPECIFICATIONS.
- ALTERNATE #4** - NEW PLEX SIGN WITH VINYL CREST IN LOBBY. REFER TO SPECIFICATIONS.
- ALTERNATE #5** - REMOVE EXISTING WALL SCONCES AT LOBBY ENTRY. INSTALL NEW WALL SCONCES (6 TOTAL) IN PREVIOUS FIXTURE LOCATIONS. REFER TO SPECIFICATIONS.



NOTE: CONTACT BARTLETT CITY SCHOOLS FOR LOGO FILE

1 TYPICAL VINYL WINDOW DECAL
1/4" = 1'-0"



2 LOBBY ACCENT WALL
1/4" = 1'-0"

3 LOBBY ENLARGED FLOOR PLAN
1/4" = 1'-0"

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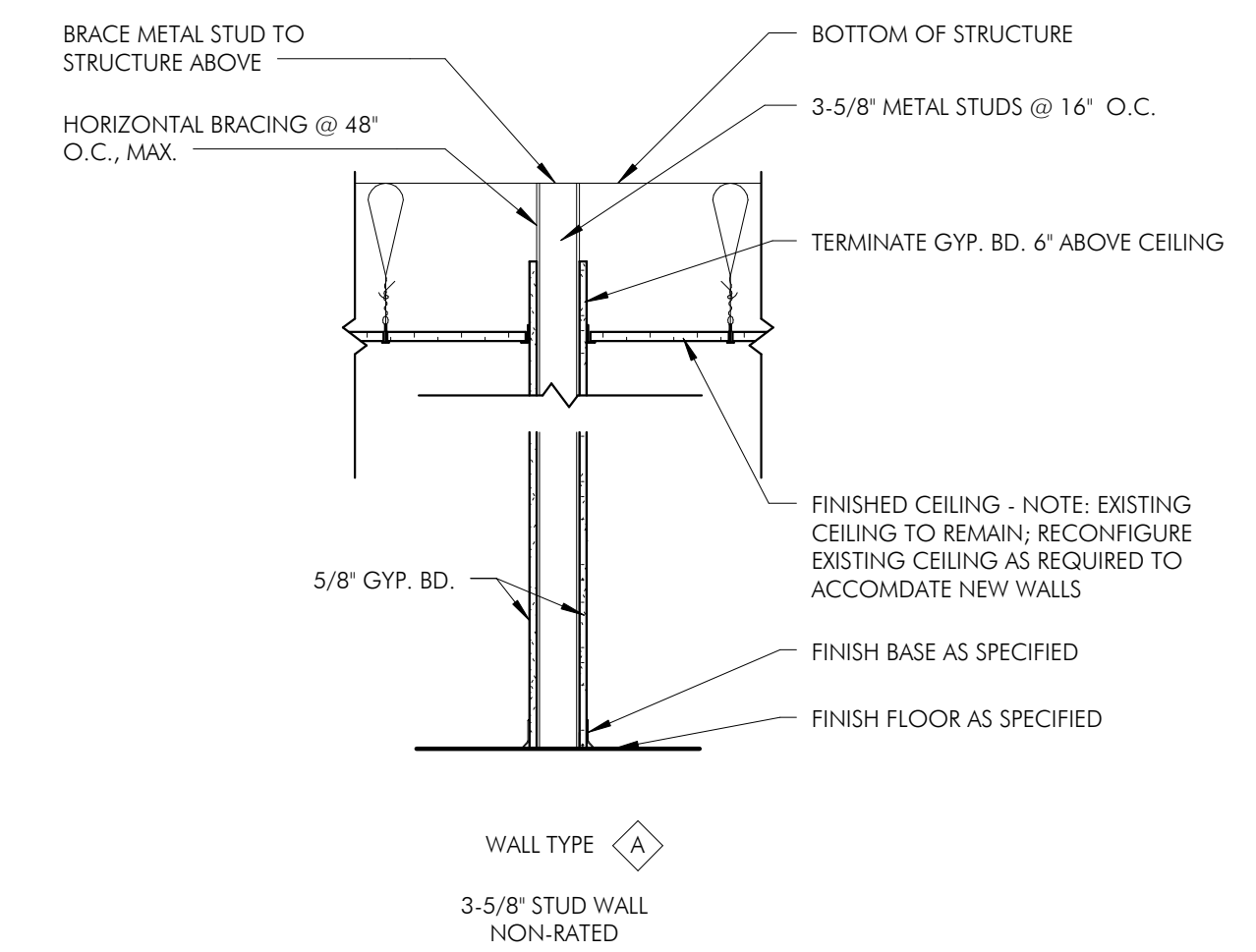
A1.3

ENLARGED FLOOR PLANS - LOBBY

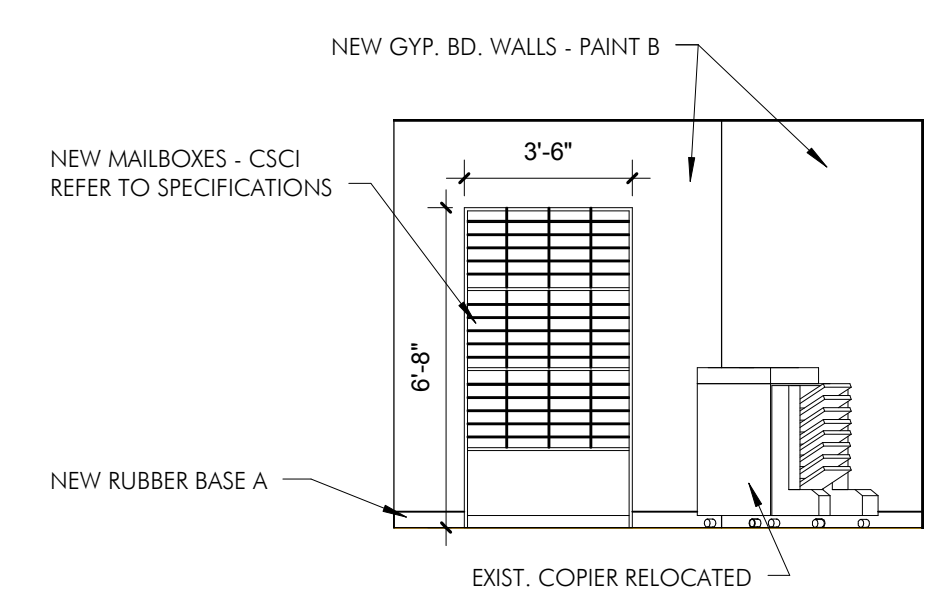
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A INTERIOR PARTITION DETAIL
3/4" = 1'-0"



1 MAIN OFFICE - MAILBOX ELEVATION
1/4" = 1'-0"

ALTERNATES - CSCI

ALTERNATE #1 - MAIN OFFICE - NEW BUILT-IN STAINED WOOD DISPLAY CASE W/ SLIDING GLASS DOORS AND STAINED WOOD PANEL BELOW

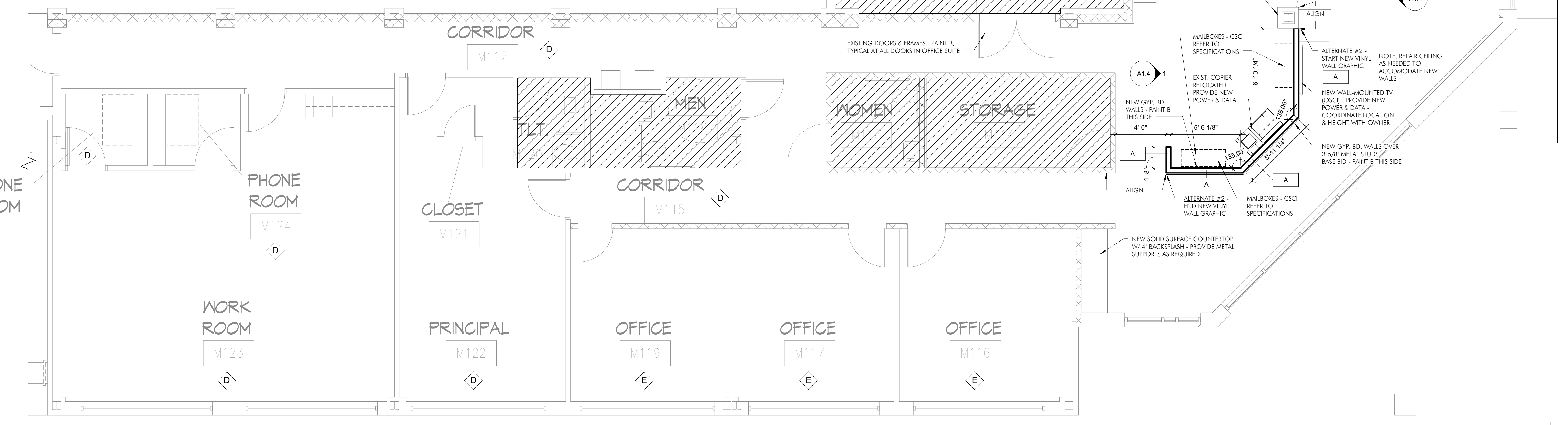
- ALL EXPOSED SURFACES TO BE STAINED SELECT WHITE MAPLE GRADE A PLYWOOD. PROVIDE 3" WOOD TRIM AT PERIMETER.
- PROVIDE TEMPERED, LOCKABLE GLASS DOORS. PROVIDE INTEGRAL DOOR HARDWARE (INCLUDING UPPER AND LOWER GLASS RUNNING RAILS) - ALL HARDWARE TO BE BRUSHED NICKEL.
- PROVIDE 3 FULL-LENGTH ADJUSTABLE AND REMOVABLE TEMPERED GLASS SHELVES ON ALL METAL SHELF RESTS/BRACKETS.
- NOTE: DIMENSIONS OF NEW DISPLAY CASE TO MATCH EXISTING OPENING. STAINED WOOD PANEL TO EXTEND FROM BOTTOM OF DISPLAY CASE TO FINISH FLOOR. PROVIDE 4" STAINED WOOD BASE AT FINISH FLOOR.

ALTERNATE #2 - NEW CUSTOM DIGITAL VINYL WALLCOVERING (FLOOR TO CEILING) ON NEW WALLS IN MAIN LOBBY - REFER TO FLOOR PLAN FOR LOCATION. REFER TO SPECIFICATIONS.

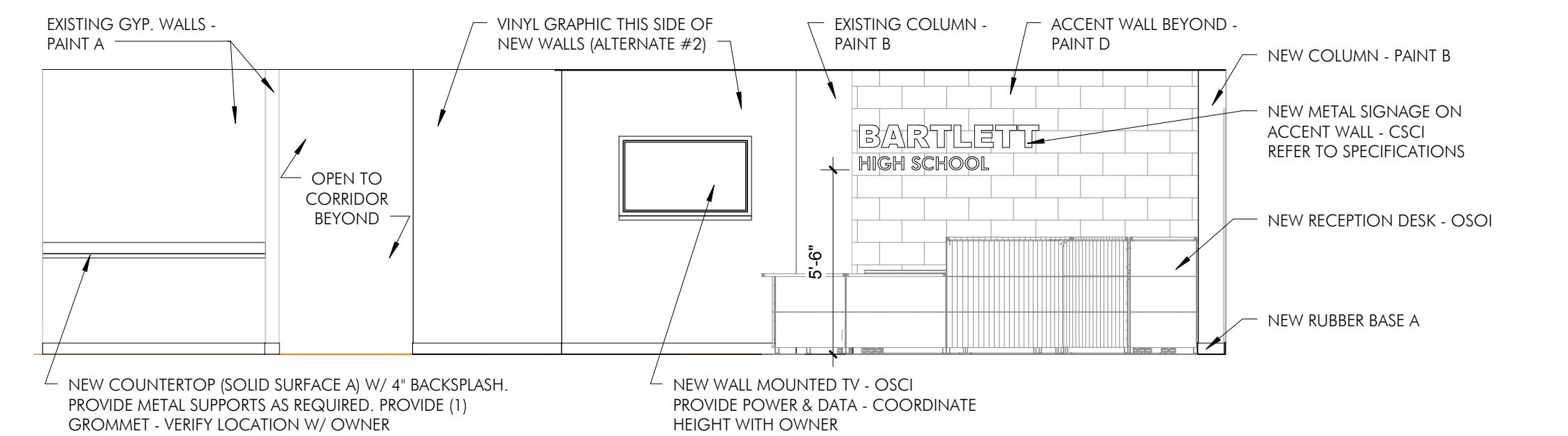
ALTERNATE #3 - REUPHOLSTER EXISTING ACOUSTICAL PANELS IN AUDITORIUM. REFER TO SPECIFICATIONS.

ALTERNATE #4 - NEW PLEX SIGN WITH VINYL CREST IN LOBBY. REFER TO SPECIFICATIONS.

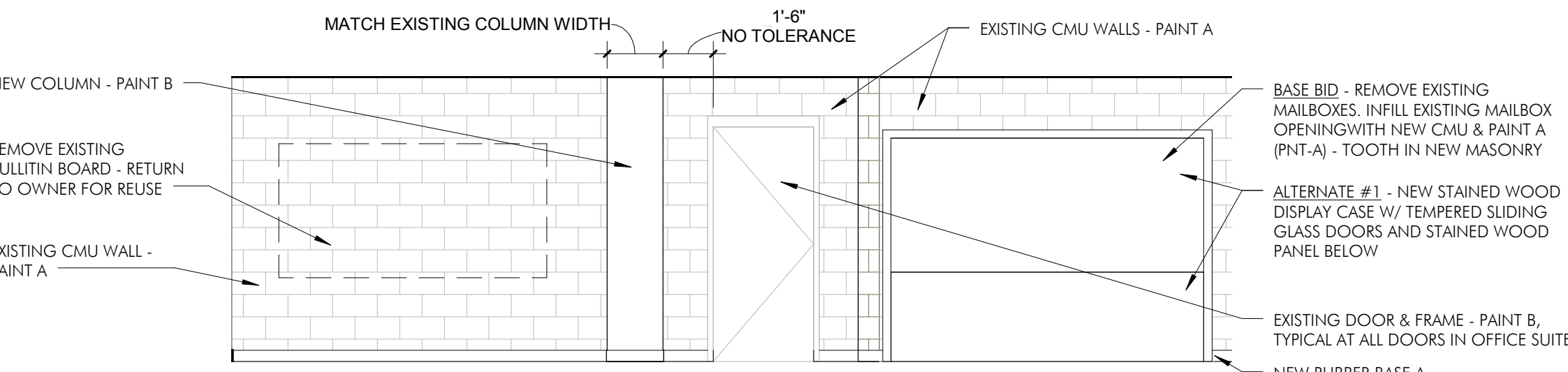
ALTERNATE #5 - REMOVE EXISTING WALL SCONCES AT LOBBY ENTRY. INSTALL NEW WALL SCONCES (6 TOTAL) IN PREVIOUS FIXTURE LOCATIONS. REFER TO SPECIFICATIONS.



2 MAIN OFFICE ENLARGED FLOOR PLAN
1/4" = 1'-0"



3 MAIN OFFICE - WEST ELEVATION
1/4" = 1'-0"



4 MAIN OFFICE - NORTH ELEVATION
1/4" = 1'-0"

FINISH LEGEND

NOTE: REFER TO A3.1 FOR FINISHES & SPECIFICATIONS

A	FLOOR: VCT A, VCT B, VCT C - REFER TO FLOOR PATTERN PLAN BASE: RUBBER BASE A WALLS: PAINT A WITH ACCENT STRIPES OF PAINT C AND PAINT D - REFER TO ELEVATIONS
B	FLOOR: VCT A, VCT B, VCT C - REFER TO FLOOR PATTERN PLAN BASE: RUBBER BASE A WALLS: PAINT A WITH ACCENT WALL OF PAINT C. EXISTING BRICK TO REMAIN
C	FLOOR: NEW RUBBER TREADS AT STAIRS BASE: EXISTING TO REMAIN WALLS: EXISTING TO REMAIN HANDRAILS: EXISTING TO REMAIN
D	FLOOR: LVT - WOOD PLANK BASE: RUBBER BASE A WALLS: PAINT A WITH ACCENT WALLS OF PAINT B AND PAINT D - REFER TO ELEVATIONS
E	FLOOR: CARPET TILE A BASE: RUBBER BASE A WALLS: PAINT A
F	FLOOR: AISLES AND WALKWAYS - CARPET B UNDER SEATS - EPOXY PAINT & INSTALLATION BY OWNER STAGE STEPS & STAGE FRONT - CARPET B BASE: EXISTING WOOD BASE TO REMAIN. REPLACE & PAINT SHOE MOLD IF REQUIRED BY CARPET REMOVAL/INSTALLATION WALLS: EXISTING PAINT TO REMAIN NOTE: RECOVER EXISTING ACOUSTICAL PANELS (ALTERNATE #3)

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 - DO NOT SCALE DRAWINGS.
- GYP. BOARD & INTERIOR PARTITION NOTES**
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 - NOTIFY ARCHITECT SHOULD PARTITION HEIGHT EXCEED STUD MANUFACTURERS ALLOWABLE HEIGHT CHART.
 - INSTALL PARTITION FRAMING IN ACCORDANCE WITH ASTM C754 AND MANUFACTURERS INSTRUCTIONS.
 - INSTALL GYP. BOARD IN ACCORDANCE WITH ASTM 754, GA-216 AND MANUFACTURERS INSTRUCTIONS.
 - INSTALL ANY WALL HUNG EQUIPMENT OR ACCESSORIES IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
 - AT GYP. BD. WALLS, INSTALL CORNER REINFORCEMENT AT OUTSIDE CORNERS. USE SINGLE LENGTHS WHERE LENGTH OF CORNER DOES NOT EXCEED STANDARD HEIGHT.
 - INSTALL CONTROL JOINTS AT GYP. BD. WALLS AND PARTITIONS AT MAXIMUM OF 30'-0" APART. CONTROL JOINTS MAY BE INSTALLED AT BOTH SIDES OF A DOOR HEADER. INSTALL CONTROL JOINT IN GYP. BD. CEILING AT MAXIMUM OF 50' OR MAXIMUM OF 2500 S.F.
- OSOI - OWNER SUPPLIED, OWNER INSTALLED
OSCI - OWNER SUPPLIED, CONTRACTOR INSTALLED
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- INDICATES AREA WITH NO WORK - PROTECT DURING CONSTRUCTION

FINISH GENERAL NOTES

- FINISHES - GENERAL**
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 - ALL INTERIOR FINISHES SHALL BE IN COMPLIANCE WITH LOCAL AND NATIONAL CODES. THE CONTRACTOR SHALL ADVISE THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF A NON-COMPLIANT FINISH.
 - ALL FINISHES SHALL BE INSPECTED UPON ARRIVAL TO THE JOB SITE FOR DEFECTS AND DYE LOT CONSISTENCY. NOTIFY ARCHITECT OF ANY DEFECTS PRIOR TO INSTALLATION. THE ARCHITECT SHALL ALSO BE NOTIFIED IMMEDIATELY OF ANY INSTALLATION PROBLEMS.
 - ALL FINISHES SHALL BE INSTALLED PER MANUFACTURERS INSTALLATIONS.
 - ALL SURFACES SHALL BE PREPARED APPROPRIATELY TO RECEIVE THE SPECIFIED FINISH.
 - NO FINISHES SHALL BE INSTALLED UNDER CONDITIONS WHICH WOULD JEOPARDIZE THE QUALITY OF THE WORK. ALL WORKMANSHIP WHICH IS JUDGED TO BE LESS THAN FIRST QUALITY BY THE ARCHITECT SHALL BE REJECTED.
 - PROTECT NEW INSTALLED FINISHES FOR DAMAGE THAT MAY OCCUR FROM OTHER TRADES.
 - EXAMINE ALL FINISH SURFACES AFTER COMPLETION OF WORK AND PROCEED WITH TOUCH-UP AS REQUIRED.
 - ALL FINISHES SHALL BE LEFT IN A "LIKE NEW" CONDITION.
- SLAB PREPARATION**
- FLOOR SURFACES SHALL BE INSPECTED BY THE CONTRACTOR. THE ARCHITECT SHALL BE NOTIFIED IF FLOOR LEVELING MUST BE NECESSARY FOR PROPER EXECUTION OF THE WORK.
 - CONCRETE SLABS ON GRADE OR NEW CONCRETE FLOORS SHALL BE TESTED FOR MOISTURE PRIOR TO ORDERING THE FLOORING. CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING IF SLAB FAILS TO MEET THE MOISTURE REQUIREMENTS OF THE MANUFACTURER.
- FLOORING AND BASE**
- ALL IMPERFECTIONS AND SLIGHT DEPRESSIONS IN THE FLOOR SURFACE SHALL BE SKIM COATED.
 - WHERE FLOOR FINISHES OF DIFFERENT THICKNESSES MEET, FLOOR SHALL BE FILLED TO A MINIMUM SLOPE OF 1" PER 12'-0" TO ALLOW A SMOOTH TRANSITION.
 - WHERE FLOOR FINISHES MEET AT DOORWAYS, TRANSITION OF FINISHES SHALL OCCUR DIRECTLY BENEATH THE CENTER OF THE DOOR LEAF, U.N.O.
 - PROVIDE REDUCER STRIP WHERE FLOOR FINISHES OF DIFFERENT MATERIALS OCCUR APPROPRIATE TO THE TRANSITION. COLOR SHALL BE SELECTED BY THE ARCHITECT.
 - BASE SHALL BE INSTALLED USING WHOLE UNITS. NO PIECE SHALL BE SMALLER THAN 1'-0" AT A CORNER CONDITION.

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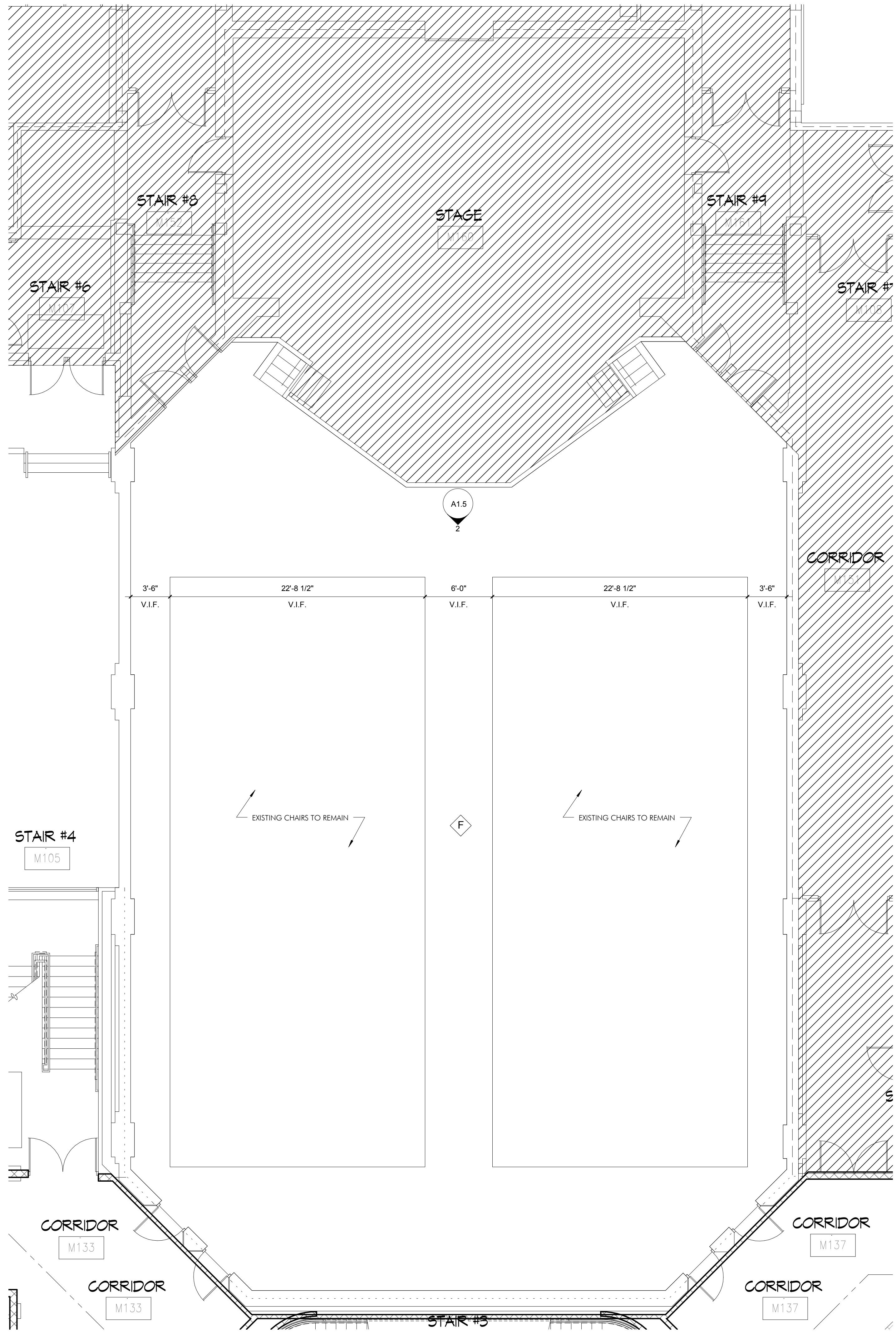
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A1.4
ENLARGED FLOOR PLANS - MAIN
OFFICE



FINISH LEGEND

NOTE: REFER TO A3.1 FOR FINISHES & SPECIFICATIONS

- A** FLOOR: VCT A, VCT B, VCT C - REFER TO FLOOR PATTERN PLAN
BASE: RUBBER BASE A
WALLS: PAINT A WITH ACCENT STRIPES OF PAINT C AND PAINT D - REFER TO ELEVATIONS
- B** FLOOR: VCT A, VCT B, VCT C - REFER TO FLOOR PATTERN PLAN
BASE: RUBBER BASE A
WALLS: PAINT A WITH ACCENT WALL OF PAINT C, EXISTING BRICK TO REMAIN
- C** FLOOR: NEW RUBBER TREADS AT STAIRS
BASE: EXISTING TO REMAIN
WALLS: EXISTING TO REMAIN
HANDRAILS: EXISTING TO REMAIN
- D** FLOOR: LVT - WOOD PLANK
BASE: RUBBER BASE A
WALLS: PAINT A WITH ACCENT WALLS OF PAINT B AND PAINT D - REFER TO ELEVATIONS
- E** FLOOR: CARPET TILE A
BASE: RUBBER BASE A
WALLS: PAINT A
- F** FLOOR: AISLES AND WALKWAYS - CARPET B
UNDER SEATS - EPOXY PAINT & INSTALLATION BY OWNER
STAGE STEPS & STAGE FRONT - CARPET B
BASE: EXISTING WOOD BASE TO REMAIN, REPLACE & PAINT SHOE MOULD IF REQUIRED BY CARPET REMOVAL/INSTALLATION
WALLS: EXISTING PAINT TO REMAIN
NOTE: RECOVER EXISTING ACOUSTICAL PANELS (ALTERNATE #3)

FLOOR PLAN GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE CODE REQUIREMENTS.
2. IT IS THE INTENT OF THESE DOCUMENTS THAT ALL INTERIOR WALLS OF THE WORK AREA BE FINISHED AND PAINTED TO A UNIFORM APPEARANCE. ALL EXISTING INTERIOR WALLS SHALL BE PREPARED TO RECEIVE NEW FINISH.
3. NO WORK OR NEW CONSTRUCTION SHALL INTERFERE WITH EXISTING FIRE RATED ASSEMBLIES OR LIFE SAFETY PROVISIONS.
4. REFER TO ENLARGED FLOOR PLAN SHEETS CONTAINING MORE INFORMATION.
5. EXISTING CEILINGS TO REMAIN - REPAIR EXISTING CEILINGS AS REQUIRED TO ACCOMMODATE NEW WALLS, ETC.
6. PROVIDE TRANSITION STRIPS AS REQUIRED AT ALL FLOOR TRANSITIONS.
7. DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE UNLESS NOTED OTHERWISE.
8. DO NOT SCALE DRAWINGS.

GYPSUM BOARD & INTERIOR PARTITION NOTES

1. STUD SPACING AND GAUGE SHALL BE BASED UPON MANUFACTURER'S ALLOWABLE HEIGHT CHARTS. LIMIT DEFLECTION OF PARTITIONS TO FOLLOWING: BASED ON 5 PSF UNIFORM DESIGN LOAD AND L/120 DEFLECTION.
2. NOTIFY ARCHITECT SHOULD PARTITION HEIGHT EXCEED STUD MANUFACTURER'S ALLOWABLE HEIGHT CHART.
3. INSTALL PARTITION FRAMING IN ACCORDANCE WITH ASTM C754 AND MANUFACTURER'S INSTRUCTIONS.
4. INSTALL GYPSUM BOARD IN ACCORDANCE WITH ASTM 754, GA-216 AND MANUFACTURER'S INSTRUCTIONS.
5. INSTALL ANY WALL HUNG EQUIPMENT OR ACCESSORIES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
6. AT GYP. BD. WALLS, INSTALL CORNER REINFORCEMENT AT OUTSIDE CORNERS. USE SINGLE LENGTHS WHERE LENGTH OF CORNER DOES NOT EXCEED STANDARD HEIGHT.
7. INSTALL CONTROL JOINTS AT GYP. BD. WALLS AND PARTITIONS AT MAXIMUM OF 30'-0" APART. CONTROL JOINTS MAY BE INSTALLED AT BOTH SIDES OF A DOOR HEADER. INSTALL CONTROL JOINT IN GYP. BD. CEILING AT MAXIMUM OF 50' OR MAXIMUM OF 2500 S.F.

OSOI - OWNER SUPPLIED, OWNER INSTALLED
OSCI - OWNER SUPPLIED, CONTRACTOR INSTALLED
CSCI - CONTRACTOR SUPPLIED, CONTRACTOR INSTALLED

INDICATES AREA WITH NO WORK - PROTECT DURING CONSTRUCTION

ALTERNATES - CSCI

- ALTERNATE #1** - MAIN OFFICE - NEW BUILT-IN STAINED WOOD DISPLAY CASE W/ SLIDING GLASS DOORS AND STAINED WOOD PANEL BELOW
- ALL EXPOSED SURFACES TO BE STAINED SELECT WHITE MAPLE GRADE A PLYWOOD. PROVIDE 3" WOOD TRIM AT PERIMETER.
 - PROVIDE TEMPERED, LOCKABLE GLASS DOORS. PROVIDE INTEGRAL DOOR HARDWARE (INCLUDING UPPER AND LOWER GLASS RUNNING RAILS) - ALL HARDWARE TO BE BRUSHED NICKEL.
 - PROVIDE 3 FULL-LENGTH ADJUSTABLE AND REMOVABLE TEMPERED GLASS SHELVES ON ALL METAL SHELF RESTS/BRAKETS.
 - NOTE: DIMENSIONS OF NEW DISPLAY CASE TO MATCH EXISTING OPENING. STAINED WOOD PANEL TO EXTEND FROM BOTTOM OF DISPLAY CASE TO FINISH FLOOR. PROVIDE 4" STAINED WOOD BASE AT FINISH FLOOR.
- ALTERNATE #2** - NEW CUSTOM DIGITAL VINYL WALLCOVERING (FLOOR TO CEILING) ON NEW WALLS IN MAIN LOBBY - REFER TO FLOOR PLAN FOR LOCATION. REFER TO SPECIFICATIONS.
- ALTERNATE #3** - REUPHOLSTER EXISTING ACOUSTICAL PANELS IN AUDITORIUM. REFER TO SPECIFICATIONS.
- ALTERNATE #4** - NEW PLEX SIGN WITH VINYL CREST IN LOBBY. REFER TO SPECIFICATIONS.
- ALTERNATE #5** - REMOVE EXISTING WALL SCONCES AT LOBBY ENTRY. INSTALL NEW WALL SCONCES (6 TOTAL) IN PREVIOUS FIXTURE LOCATIONS. REFER TO SPECIFICATIONS.

FINISH GENERAL NOTES

FINISHES - GENERAL

1. ALL FINISHES SHALL BE BID AS SPECIFIED. ANY SUBSTITUTION MUST BE APPROVED BY THE ARCHITECT PRIOR TO SUBMISSION OF BID.
2. ALL INTERIOR FINISHES SHALL BE IN COMPLIANCE WITH LOCAL AND NATIONAL CODES. THE CONTRACTOR SHALL ADVISE THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF A NON-COMPLIANT FINISH.
3. ALL FINISHES SHALL BE INSPECTED UPON ARRIVAL TO THE JOB SITE FOR DEFECTS AND DYE LOT CONSISTENCY. NOTIFY ARCHITECT OF ANY DEFECTS PRIOR TO INSTALLATION. THE ARCHITECT SHALL ALSO BE NOTIFIED IMMEDIATELY OF ANY INSTALLATION PROBLEMS.
4. ALL FINISHES SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATIONS.
5. ALL SURFACES SHALL BE PREPARED APPROPRIATELY TO RECEIVE THE SPECIFIED FINISH.
6. NO FINISHES SHALL BE INSTALLED UNDER CONDITIONS WHICH WOULD JEOPARDIZE THE QUALITY OF THE WORK. ALL WORKMANSHIP WHICH IS JUDGED TO BE LESS THAN FIRST QUALITY BY THE ARCHITECT SHALL BE REJECTED.
7. PROTECT NEW INSTALLED FINISHES FOR DAMAGE THAT MAY OCCUR FROM OTHER TRADES.
8. EXAMINE ALL FINISH SURFACES AFTER COMPLETION OF WORK AND PROCEED WITH TOUCH-UP AS REQUIRED.
9. ALL FINISHES SHALL BE LEFT IN A "LIKE NEW" CONDITION.

SLAB PREPARATION

1. FLOOR SURFACES SHALL BE INSPECTED BY THE CONTRACTOR. THE ARCHITECT SHALL BE NOTIFIED IF FLOOR LEVELING MUST BE NECESSARY FOR PROPER EXECUTION OF THE WORK.
2. CONCRETE SLABS ON GRADE OR NEW CONCRETE FLOORS SHALL BE TESTED FOR MOISTURE PRIOR TO ORDERING THE FLOORING. CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING IF SLAB FAILS TO MEET THE MOISTURE REQUIREMENTS OF THE MANUFACTURER.

FLOORING AND BASE

1. ALL IMPERFECTIONS AND SLIGHT DEPRESSIONS IN THE FLOOR SURFACE SHALL BE SKIM COATED.
2. WHERE FLOOR FINISHES OF DIFFERENT THICKNESSES MEET, FLOOR SHALL BE FILLED TO A MINIMUM SLOPE OF 1" PER 12'-0" TO ALLOW A SMOOTH TRANSITION.
3. WHERE FLOOR FINISHES MEET AT DOORWAYS, TRANSITION OF FINISHES SHALL OCCUR DIRECTLY BENEATH THE CENTER OF THE DOOR LEAF, U.N.O.
4. PROVIDE REDUCER STRIP WHERE FLOOR FINISHES OF DIFFERENT MATERIALS OCCUR APPROPRIATE TO THE TRANSITION. COLOR SHALL BE SELECTED BY THE ARCHITECT.
5. BASE SHALL BE INSTALLED USING WHOLE UNITS. NO PIECE SHALL BE SMALLER THAN 1'-0" AT A CORNER CONDITION.

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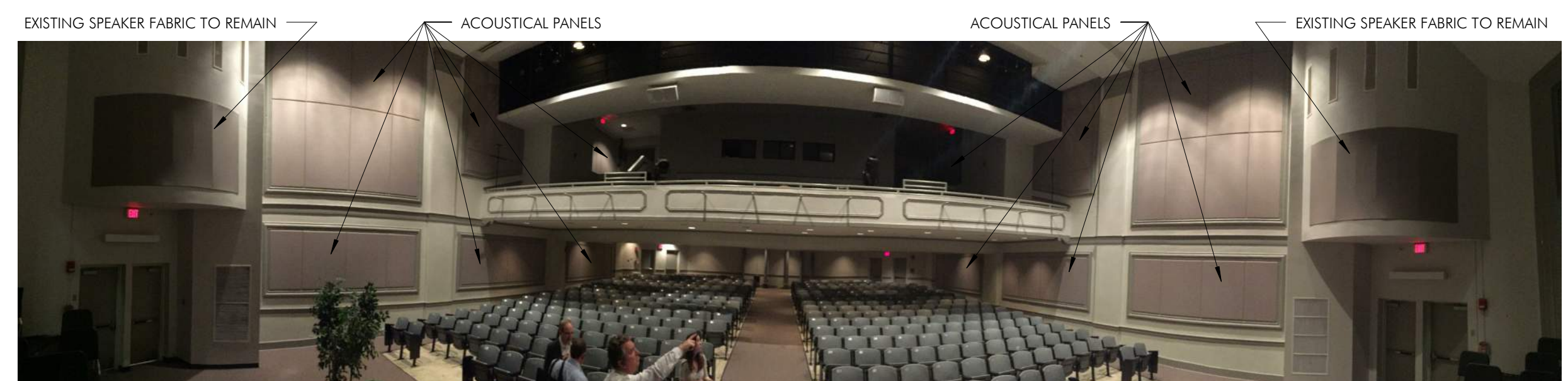
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Date of Issue: **May 8, 2015**
Fleming Project No.: 330315

A1.5

ENLARGED FLOOR PLANS -
AUDITORIUM



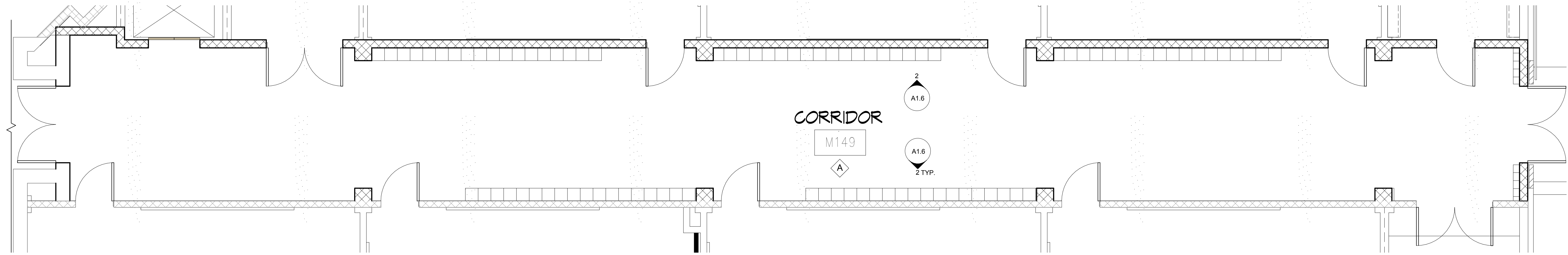
NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE TO FIELD VERIFY EXISTING CONDITIONS AND QUANTITIES OF ACOUSTICAL PANELS PRIOR TO BID SUBMISSION.

1 AUDITORIUM ENLARGED FLOOR PLAN
3/16" = 1'-0"

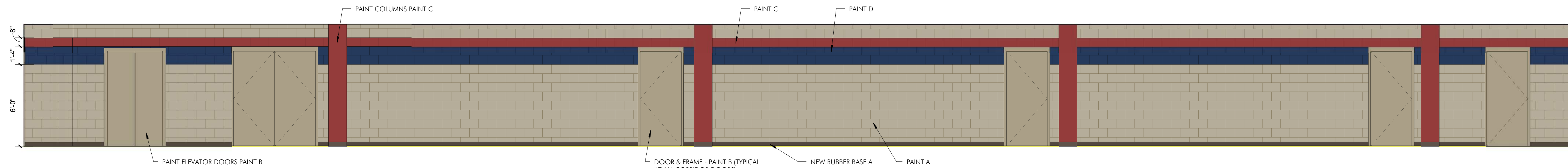
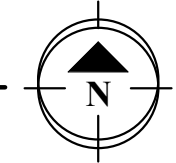
2 ALTERNATE # 3 - AUDITORIUM ACOUSTICAL PANELS
N.T.S.

**Bartlett High School -
Main Building Finish
Upgrades**

Bartlett City Schools
5688 Woodlawn
Bartlett, TN 38134



1 CORRIDOR ENLARGED FLOOR PLAN
1/4" = 1'-0"



2 MAIN BUILDING CORRIDOR TYPICAL ELEVATION
1/4" = 1'-0"

ALTERNATES - CSCI

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FINISH LEGEND

NOTE: REFER TO A3.1 FOR FINISHES & SPECIFICATIONS

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SLAB PREPARATION

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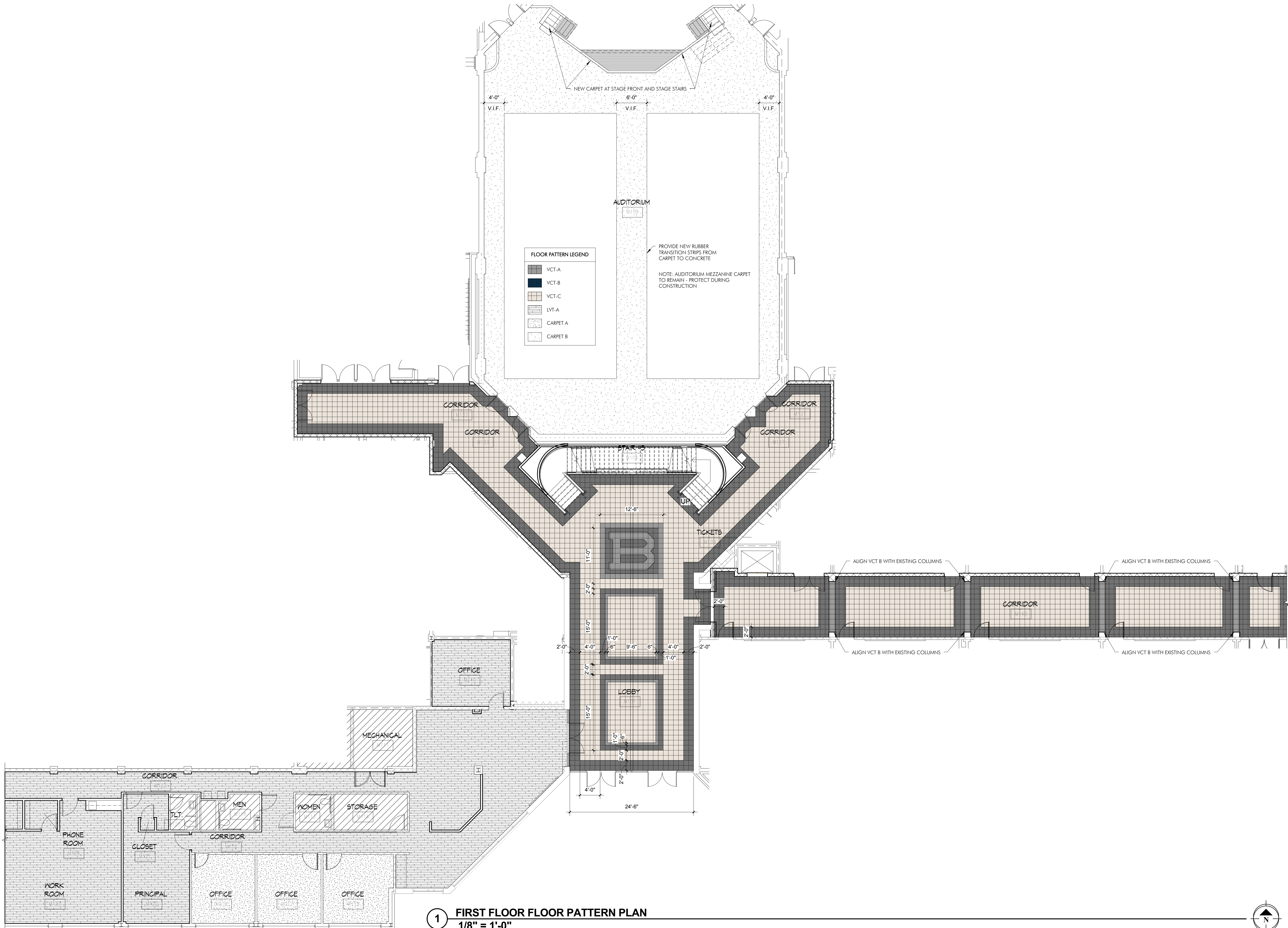
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A1.6

ENLARGED FLOOR PLANS -
CORRIDOR

**Bartlett High School -
Main Building Finish
Upgrades**

Bartlett City Schools
5688 Woodlawn
Bartlett, TN 38134



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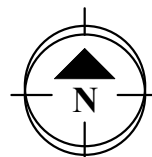
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A1.7

FLOOR PATTERN PLAN



**Bartlett High School -
Main Building Finish
Upgrades**

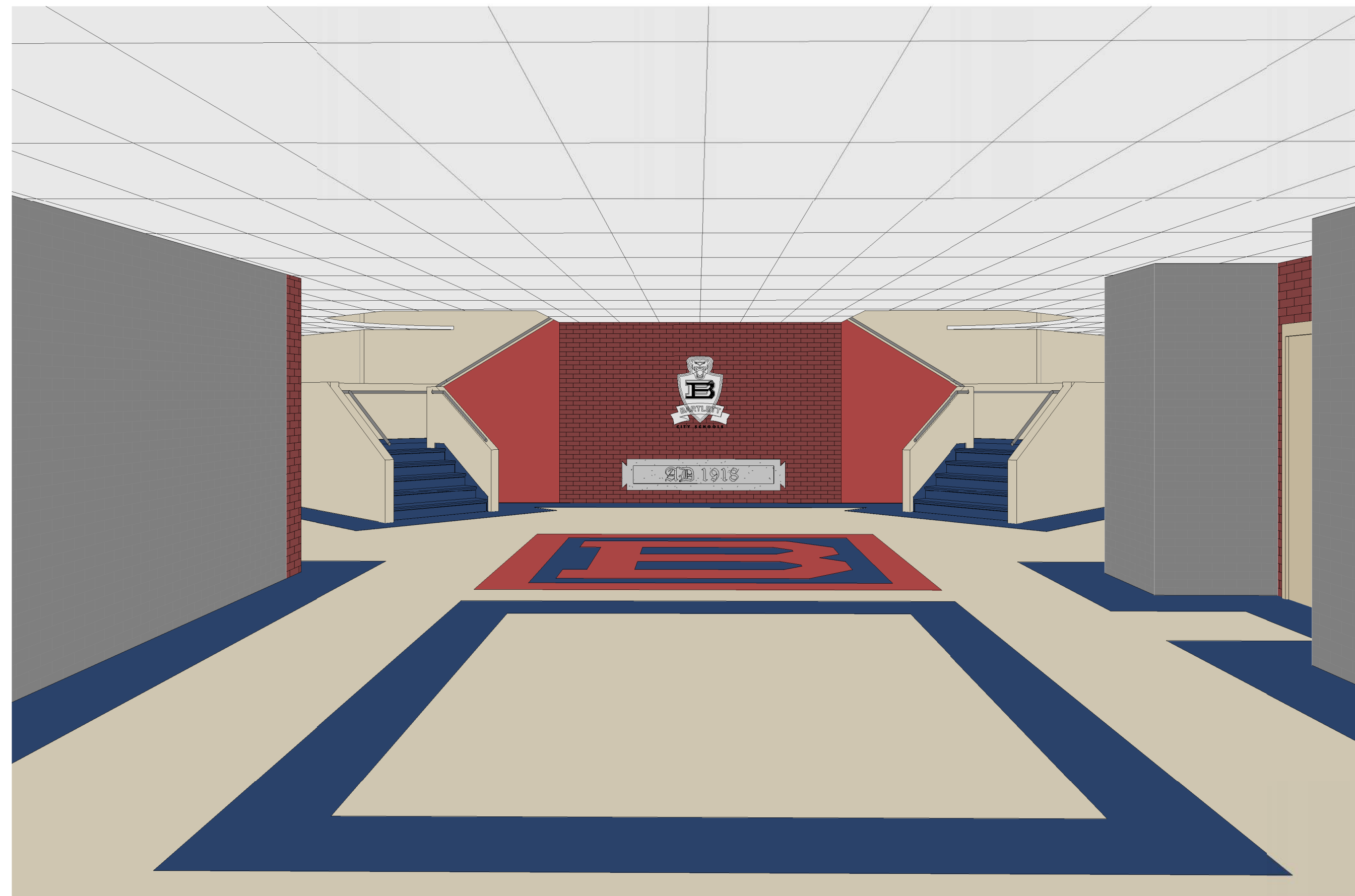
Bartlett City Schools
5688 Woodlawn
Bartlett, TN 38134



1 BHS Main Office



2 BHS Main Building Corridor



3 BHS Lobby

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A2.1

3D & COLORED VIEWS

NOTE: 3-DIMENSIONAL VIEWS ARE PROVIDED FOR REFERENCE ONLY. REFER TO DRAWINGS FOR DETAILS. PRINTED ELEVATIONS, PLANS, ETC. SHALL PREVAIL.

FLOORS

STANDARD VINYL COMPOSITION TILE

VCT A
Manufacturer: Mannington
Series: Essentials
Color: 170 Duchess Blue
To Be Used: Accent Tile in Corridors and Lobby

VCT B
Manufacturer: Mannington
Series: Essentials
Color: 228 New Geranium
To Be Used: Accent Tile in Corridors and Lobby

VCT C
Manufacturer: Mannington
Series: Essentials
Color: 143 Flax
To Be Used: Accent Tile in Corridors and Lobby

CARPET

CARPET A
Manufacturer: Shaw Contract Group
Series: Linage Tile 59106
Installation: Ashlor
Color: Labyrinth 05485

CARPET B
Manufacturer: J&J Invision
Series: Tempo Broadloom 2023
Color: 1756 Prelude

LVT

LVT A
Manufacturer: Mannington
Series: Nature's Path
Color: American Walnut - 12126 Cocoa
Size: 4' x 36" Plank

BASE

RUBBER BASE

RUBBER BASE A
Manufacturer: Flexco
Series: 4' Cove Base
Color: 038 Outer Banks
To Be Used: Throughout School

STAIR TREADS

STAIR TREADS
Manufacturer: Johnsonite
Color: 18 Navy Blue
To Be Used: Stairs

WALLS

PAINT

PAINT A
Manufacturer: To Match Farrell Colhoun
Color: 0224 Pebblebrook
To Be Used: Field Color

PAINT B
Manufacturer: To Match Farrell Colhoun
Color: 0225 Roman Ruins
To Be Used: Accent Color - Refer to Elevations

PAINT C
Manufacturer: To Match Benjamin Moore
Color: 1309 Moroccan Red
To Be Used: Accent Color - Refer to Elevations

PAINT D
Manufacturer: To Match Benjamin Moore
Color: 2064-20 Patriot Blue
To Be Used: Accent Color - Refer to Elevations and Exterior Doors at Front Entrance

PAINT NOTES:

All wall paint to be eggshell finish unless noted otherwise.
All doors, door frames, and window frames to be semi-glass finish unless noted otherwise.

AUDITORIUM FABRIC (ALTERNATE #3)

FABRIC A
Manufacturer: TBD
Color: TBD
To Be Used: Auditorium Acoustical Panels
Note: Provide \$25/yard allowance (material only)

MILLWORK

SOLID SURFACE

SOLID SURFACE A
Manufacturer: Corian
Color: Milky Way
To Be Used: Countertops

MISC.

MAILBOXES (Provide (2) - Refer to Floor Plans)
Manufacturer: Mayline
Model: Mailflow-To-Go Literature/Forms, No Doors with 72 Pockets
Color: Pebble Gray Paint
Note: Or approved equal - Submit alternate to architect in writing for review.

LIGHT FIXTURES

LOBBY/ENTRY WALL-MOUNTED LIGHT FIXTURE

Manufacturer: Vico Lighting
Model: Wrap CB3500
Size: 12" w x 7" h
Light Source: Incandescent Ballast (Provide neutral white LED lamp), Non-Dimming, Non-Emergency
Finish: TBD - Contractor to provide submittal to architect for review and approval prior to ordering light fixture. Submit finish chart for selection of fixture finish.

Note: Or approved equal - Submit alternate to architect in writing for review.

SIGNAGE & DIGITAL WALLCOVERING

STAND-OFF LETTERS (MAIN OFFICE ACCENT WALL)

Satin Silver Metal Mica Letters
Depth: 1/4"
NOTE: Paint sides to match metal front. See elevation for sign copy.

DIGITALLY-PRINTED VINYL CREST ON PLEXI-GLASS SIGN WITH STAND-OFFS (LOBBY)

Size: Approx. 27" h x 18" w
Note: Plex to be cut in shape of school crest. Color vinyl to match school colors (Pantone 293C & 186C). Contact Bartlett City Schools for logo file.

DIGITAL WALLCOVERING (MAIN OFFICE)

Olee Creative Custom Digital Vinyl Wallcovering (Floor to Ceiling)
Note: Or approved equal - Submit alternate to architect in writing for review.
Provide Fry Reglet "Snap-In" Reveal at wallpaper terminations.

ALTERNATES - CSCI

- ALTERNATE #1 - MAIN OFFICE - NEW BUILT-IN STAINED WOOD DISPLAY CASE W/ SLIDING GLASS DOORS AND STAINED WOOD PANEL BELOW**
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Bartlett High School - Main Building Finish Upgrades

Bartlett City Schools

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A3.1

FINISHES & SPECIFICATIONS